Energy performance certificate (EPC) Afallon PENYSARN LL69 9YB Energy rating Certificate number: 2883-0034-5212-8287-5200 Property type Semi-detached house Total floor area 146 square metres

Rules on letting this property



You may not be able to let this property

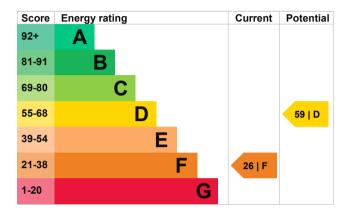
This property has an energy rating of F. It cannot be let, unless an exemption has been registered. You can read <u>guidance for landlords on the regulations and exemptions</u> (https://www.gov.uk/guidance/domestic-private-rented-property-minimum-energy-efficiency-standard-landlord-guidance).

Properties can be let if they have an energy rating from A to E. The <u>recommendations section</u> sets out changes you can make to improve the property's rating.

Energy efficiency rating for this property

This property's current energy rating is F. It has the potential to be D.

See how to improve this property's energy performance.



The graph shows this property's current and potential energy rating.

Properties get a rating from A (best) to G (worst) and a score. The better the rating and score, the lower your energy bills are likely to be.

For properties in England and Wales:

the average energy rating is D the average energy score is 60

Breakdown of property's energy performance

This section shows the energy performance for features of this property. The assessment does not consider the condition of a feature and how well it is working.

Each feature is assessed as one of the following:

- · very good (most efficient)
- good
- average
- poor
- very poor (least efficient)

When the description says "assumed", it means that the feature could not be inspected and an assumption has been made based on the property's age and type.

| Feature | Description | Rating |
|----------------------|---|-----------|
| Wall | Cavity wall, as built, no insulation (assumed) | Poor |
| Wall | Cavity wall, as built, insulated (assumed) | Good |
| Wall | Timber frame, as built, insulated (assumed) | Good |
| Roof | Pitched, no insulation (assumed) | Very poor |
| Roof | Pitched, insulated (assumed) | Average |
| Roof | Roof room(s), no insulation (assumed) | Very poor |
| Window | Fully double glazed | Average |
| Main heating | Boiler and radiators, dual fuel (mineral and wood) | Poor |
| Main heating | Electric storage heaters | Average |
| Main heating control | No time or thermostatic control of room temperature | Very poor |
| Main heating control | Manual charge control | Poor |
| Hot water | From main system, no cylinder thermostat | Poor |
| Lighting | Low energy lighting in 75% of fixed outlets | Very good |
| Floor | Solid, no insulation (assumed) | N/A |
| Floor | (another dwelling below) | N/A |
| Secondary heating | Room heaters, dual fuel (mineral and wood) | N/A |

Primary energy use

The primary energy use for this property per year is 581 kilowatt hours per square metre (kWh/m2).

Additional information

Additional information about this property:

- · Cavity fill is recommended
- Dwelling may be exposed to wind-driven rain

Environmental impact of this property

This property's current environmental impact rating is G. It has the potential to be E.

Properties get a rating from A (best) to G (worst) on how much carbon dioxide (CO2) they produce each year. CO2 harms the environment.

An average household produces

6 tonnes of CO2

This property produces

16.0 tonnes of CO2

This property's potential 9.0 tonnes of CO2 production

You could improve this property's CO2 emissions by making the suggested changes. This will help to protect the environment.

Environmental impact ratings are based on assumptions about average occupancy and energy use. They may not reflect how energy is consumed by the people living at the property.

Improve this property's energy rating

| Step | Typical installation cost | Typical yearly saving |
|--|---------------------------|-----------------------|
| 1. Room-in-roof insulation | £1,500 - £2,700 | £789 |
| 2. Cavity wall insulation | £500 - £1,500 | £98 |
| 3. Floor insulation (solid floor) | £4,000 - £6,000 | £169 |
| 4. Heating controls (programmer, thermostat, TRVs) | £350 - £450 | £136 |
| 5. Solar water heating | £4,000 - £6,000 | £170 |
| 6. Solar photovoltaic panels | £3,500 - £5,500 | £413 |

Paying for energy improvements

You might be able to get a grant from the <u>Boiler Upgrade Scheme (https://www.gov.uk/apply-boiler-upgrade-scheme)</u>. This will help you buy a more efficient, low carbon heating system for this property.

Estimated energy use and potential savings

Based on average energy costs when this EPC was created:

| Estimated yearly energy cost for this property | £3578 |
|--|-------|
| Potential saving if you complete every step in order | £1363 |

The estimated cost shows how much the average household would spend in this property for heating, lighting and hot water. It is not based on how energy is used by the people living at the property.

Heating use in this property

Heating a property usually makes up the majority of energy costs.

Estimated energy used to heat this property

| Type of heating | Estimated energy used |
|-----------------------------|------------------------|
| Space heating | 30912 kWh per year |
| Water heating | 3497 kWh per year |
| Potential energy insulation | savings by installing |
| Type of insulation | Amount of energy saved |
| Loft insulation | 4055 kWh per year |
| Cavity wall insulation | 975 kWh per year |

Saving energy in this property

Find ways to save energy in your home by visiting www.gov.uk/improve-energy-efficiency.

Contacting the assessor and accreditation scheme

This EPC was created by a qualified energy assessor.

If you are unhappy about your property's energy assessment or certificate, you can complain to the assessor directly.

If you are still unhappy after contacting the assessor, you should contact the assessor's accreditation scheme.

Accreditation schemes are appointed by the government to ensure that assessors are qualified to carry out EPC assessments.

Assessor contact details

Assessor's name Shaun Richards Telephone 07796715304

Email <u>shaunrichards109@btinternet.com</u>

Accreditation scheme contact details

Accreditation scheme Stroma Certification Ltd

Assessor ID STRO011240 Telephone 0330 124 9660

Email <u>certification@stroma.com</u>

Assessment details

Assessor's declaration No related party
Date of assessment 28 February 2023
Date of certificate 31 March 2023

Type of assessment RdSAP